

# Lagoon Point Newsletter

November 2002



## For Thanksgiving

Lord, Thank you for the wonderful place we call Lagoon Point. Bless us with forbearance and wisdom, that we may honor you by preserving and maintaining your precious gift.

Next regular open Board meeting will be December 3<sup>rd</sup> at 6:30 p.m. at the Greenbank Clubhouse.

## Lagoon Point CHRISTMAS PARTY – Saturday, December 7



**Mark your calendar:** Saturday, December 7<sup>th</sup> at the Greenbank Clubhouse is our annual LPIC Christmas Party and Potluck Dinner. Children are welcome and we have a Santa! Happy Hour starts at 5:00 pm (BYOB). Dinner follows at 5:45 pm. The club will provide the Ham, Coffee, Soft Drinks, Ice, Plates, Utensils, Napkins and Door Prizes. Bring your favorite Hot Dish, Salad, Vegetable, Dessert, Bread or whatever.



There will be a decorating work party on Tuesday, December 3<sup>rd</sup> at 9:30 am. Please contact Sylvia Brown at 678-4576 if you would like to help decorate or set up tables.

## November 16, 2002 By-Law Amendment Ballot Results

Proposed By-Law and Constitution Amendments were voted on and accepted at a special LPIC meeting held Saturday, November 16<sup>th</sup> at the Greenbank Clubhouse. 75 members voted to adopt the amendments and 2 voted to reject. These new amendments will provide for mail-in ballots, and will allow all LPIC members to vote on future constitution and by-law amendments, whether or not they attend the special meeting. These amendments replace the previous articles regarding amendments.

Keep this revision with your copy of the by-laws.

### Lagoon Point Improvement Club Constitution Article VIII (Amendments)

Section 1. This constitution may be amended by a 2/3 (two thirds) majority of the members voting, with a minimum of 133 members voting, provided:

- (a)...(same text as by-laws below)
- (b)...(same text as by-laws below)

### Lagoon Point Improvement Club By-laws: Article VII (Amendments)

Section 1. These by-laws may be amended by a 2/3 (two thirds) majority of the members voting, with a minimum of 133 members voting, provided:

- (a). Proposed amendments originate with the board of directors, or from a petition to the board of directors by at least 25 members in good standing. Proposed amendments are approved by the board of directors prior to being presented to the membership.
- (b). The proposed amendment and notice of an annual or special meeting shall be sent, in writing, to the recorded address of each member/property owner not less than 21 days or more than 35 days prior to the meeting at which the vote shall take place. The notice will include the ballot and a recommendation for and against not to exceed one half page for each position. Ballots may be turned in at the special meeting or mailed in, post-marked no later than 14 days after the meeting.

## **IN MEMORY OF ELLEN MAUPIN** – *by Luella Finsen*

Ellen Maupin, 86, long time resident of Whidbey Island, died October 28, 2002.

Ellen was born October 12, 1916 in Helper, Utah. When very young they moved to Nucla, Colorado where she received her schooling. In 1934 Ellen married Sam Maupin. They were married for 55 years. Sam died in 1989. Ellen and Sam moved to Whidbey Island in 1957 and to Lagoon Point in 1968. They loved the area and rarely left.

Ellen was a “people person” and enjoyed working in the galley of the Washington State Ferries. She also liked working for “Meals on Wheels” and attending the meals at the Greenbank Clubhouse. She was great at greeting new people to our area.

She is survived by three sons, two daughters-in-law, nine grandchildren, eight great-grandchildren and many other relatives. A celebration of her life was held at the Greenbank Clubhouse on November 9<sup>th</sup>. She will be missed by her friends and neighbors.

## **WHAT'S WITH OUR LAGOON POINT WEB SITE?** *by Andy Messer*

Our website [www.lagoonpoint.com](http://www.lagoonpoint.com) has been static since September 11<sup>th</sup>. The existing information and pictures are still available. We are just now getting organized to begin bringing it up to date. Keep checking.

## **NOVEMBER 12<sup>th</sup> BOARD MEETING** *by Beverly Pack*

The meeting was held at the Greenbank Clubhouse. The Area One representative, Carole Holmes, reported that she has received several phone calls from neighbors in her area. It seems that people are still a bit confused about the \$50.00 assessment from this past January, passed by the members of LPIC, and the \$65.00 annual assessment that was passed by the lot owners. Hopefully, we will be able to clear up the confusion by continuing to publish information here in the newsletter.

Mr. Day, from Area Two, reported that two of his neighbors have written letters in regard to the same issue. President, Andy Messer, has had a chance to talk to one of these people so far, and feels very positive about the conversation.

Bert Pack reported on the jetty permit process. It is now at the Army Corps of Engineers stage. Bert also reported that the Stibre dock is now up out of the water and stored for the winter. The next project for the waterway committee is to close the clapper valve into the Lake. He and Bob Bennett could use some help cleaning out the crustaceans. Bill Schmid volunteered. The valve is closed each winter and reopened each spring.

## **KATIE'S CLOWNS** *by Bruce and Carole Johnson*

Thanks to our wonderful Lagoon Point neighbors for their support of the Katie's Clowns performance benefiting Katie Coupe Richmond. And thank you to Loretta Wilson who visited the neighborhood selling tickets and accepting donations. The largest percentage of donations came from our neighborhood. Thank you to everyone for your generosity. We also want to thank Janet Ferguson for her help the day of the show. We were impressed by the spirit of our community. It was definitely an example of neighbors helping neighbors.

## **PRIORITIES FOR 2003 – by Andy Messer, President**

### **LPIC BY-LAWS**

A special By-Laws committee consisting of Bill Schmid, Vice President, Linda Armstrong, 2003 Assistant Secretary and Andy Messer, President, is reviewing our by-laws and constitution and will be proposing changes that the membership has been requesting. The proposals will be presented in several phases addressing related matters in manageable groups. These are just highlights. There will be much more detail presented as we progress.

#### **Phase One: Amendments (Nov 2002)**

Change the process for amendments to provide for mail-in voting by all members. This was just completed and approved on November 16<sup>th</sup>.

#### **Phase Two: Membership & Dues (Feb 2003)**

Propose changing membership to be automatic as a result of lot ownership, with votes based on lots owned. Change dues to "Annual Maintenance Dues" (a new name for our annual budget assessment) consistent with the Amended 1977 LP Property Owners Resolution. Make "Social Dues" and "Charitable Contributions" voluntary.

#### **Phase Three: Officers & Duties, Meeting & Elections (April 2003)**

Propose moving the annual meeting to October for the purpose of nomination of board members. Provide for mail in voting by all members for board candidates in November, results announced in December and the new board takes office in January (no more lame duck boards).

### **WATERWAY MAINTENANCE FUNDING ISSUES**

A special committee consisting of seven 2003 board members, one from each area plus the president, will study all relevant data, report to the membership and if appropriate, propose a lot owners resolution for consideration. The committee will: Examine the governing documents, with legal counsel as needed, to determine the boundaries for discussion and resolution; Study the initial conditions (1969-1975) when the developer was still involved; Review the history (1975-2002) of what maintenance was done and who paid for it; Consider today's current usage and value; Study the physical causes resulting in required maintenance, remedies and constraints; and finally, as appropriate, prepare a proposed resolution or a convincing explanation.

#### **Note:**

\* Any resolution resulting in a different assessment upon one portion of the lot owners than from another portion, will require lot owner approval by an absolute majority of the lots in each of such portions.

\*\* The data obtained in preparing such a resolution will be used to promote the proposal, and if necessary to present in court for judicial resolution.

### **ASSESSMENT STATUS FOR SPECIAL CASE LOTS:**

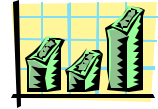
A special committee of 3 to 5 members, all BOD members (TBD), will be appointed to: Build an accurate database of all lots and relevant information; Categorize special cases and review them for possible consideration; and as appropriate, prepare proposed resolutions and obtain legal review.

#### **Note:**

\* Each case resulting in dropping a lot from the LPIC assessment rolls increases the assessments of the remaining lots by a fractional amount. That is why this cannot be done by the BOD or by our by-laws.

\*\* Any resulting proposed resolutions will require lot owner approval by an absolute majority of the lots.

Your opinions and comments are welcome. Write to us at LPIC, PO Box 123 Greenbank, 98253 or contact your Area Representative.



## CURRENT FINANCIAL STATUS *by Andy Messer, Bob Bennett and Frank Roberts*

\$ The 2001 and prior “dues” of \$35,000, which were “frozen” last December, are still being held in reserve. Because they were not assessed by lot, they may not be used for common area maintenance without a special resolution of the membership. The new Board of Directors will address this issue after the next proposed by-law amendments, regarding membership and dues (see PRIORITIES for 2003), are voted on by the membership.

\$ The March 1, 2002 \$50 per lot “Emergency” Assessment was passed January 12<sup>th</sup> to cover our normal maintenance requirements from January through June 2002. Without this assessment no funds were then available for maintenance. Over 90% of this assessment has been collected. Of the \$26,200 assessed, \$2,600 remains to be collected, \$6,894 was spent for maintenance and administration from January through June. Also up to \$20,000 was approved for jetty repair permitting. Thus far only \$6,045 of that has been spent, with \$13,955 still authorized for jetty permitting. This leaves a current balance of **\$10,661**.

\$ Our Annual Budget of \$65 per lot, per fiscal year (July 1 through June 30), now provides for all of our regular common area maintenance and administration, plus reserves for long term maintenance requirements. Over 80% of this assessment has been collected. Of the \$34,060 assessed, \$6,800 remains to be collected, \$6,535 was spent from July through October on maintenance and administration. \$10,640 is to be put in a reserve fund according to our budget. This leaves a current balance of **\$10,085**.

The balance from the two assessments (\$10,661 + \$10,085) is **\$20,746**. Setting aside the authorized balance of \$13,955 for the jetty permitting leaves a balance of \$6,791 for maintenance and administration from November 2002 through June 2003.

This year an independent CPA firm will audit our financial books.

## STATUS OF ASSESSMENTS

As of November 19<sup>th</sup>, the March 1, 2002 Emergency Assessment was 91% paid – 35 members are eight months late. Also the July 1, 2002 Annual Budget Assessment was 80% paid – 75 owners are four months late.

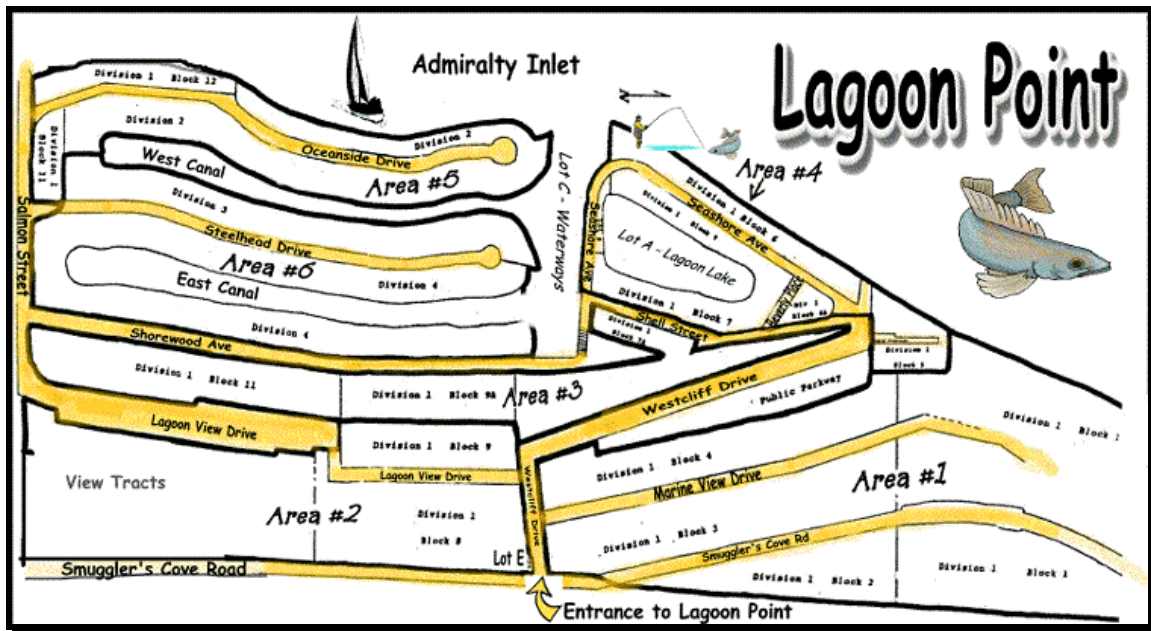
Progress continues on the various issues before our community. The method of voting for monetary issues is now by mail-in vote of all lot owners. The method of changing our by-laws is now by mail-in vote of all the members. More work remains for the newly elected board, but it is being done by democratic process, involving all of us.

*Therefore let us stop passing judgment on one another. Instead, make up your mind not to put any stumbling block or obstacle in your brother's way.* **Romans 14:13**

## BULLETIN BOARD

- Hi, my name is Maddy Ess and I would like to walk or take care of your pets for you. Rates are negotiable & reasonable. 678-2913.
- Need sewing done? Experienced seamstress. Many baby afghans, a few baby quilts made up, can take orders, great handmade gifts for a shower. Call Monica Vierra 678-6310.
- Notary services in Lagoon Point, free for LP'ers. Call Suzanne Hoel 678-6579.
- LP HERON SWEATSHIRTS and T's! Available in several sizes, they Benefit "Neighbors Helping Neighbors", our own voluntary LP help organization. Call Janet, 678-6156.
- Do you need help with any odd jobs around the house? Like babysitting or housekeeping? If so, please call Kelly Ess. 678-2913.

**If you need to delete your ad, or would like to add an ad, please call Beverly Pack at 360 222-3058 or send it by e-mail to [Bpacks@aol.com](mailto:Bpacks@aol.com)**




**Contact your Area Representative:**

Area 1	Carole Holmes	360-678-8874
Area 2	Jim Day	360-678-1546
Area 3	Jim Ratcliffe	360-678-1065
Area 4	Monica & Don Shull	360-222-3218
Area 5	Shirley Bauder	360-678-5006
Area 6	Nancy Lawless	360-678-7175

LAGOON POINT IMPROVEMENT CLUB  
 P.O. Box 123  
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 98253  
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**Lagoon Point  
 CHRISTMAS PARTY**  
 5 pm – Saturday  
 December 7, 2002  
 Greenbank Clubhouse